

CA3 ONHW Q60  
84 J151

URBAN/MUNICIPAL

James North heritage  
district - possible  
zoning modifications







CASON HW 960  
84 J151

JAMES NORTH HERITAGE DISTRICT

P6-8-4-2

POSSIBLE ZONING MODIFICATIONS

'H' DISTRICT

1. USES

- a) Allow dwelling units without the following restrictions:
- i) 1 or 2 dwelling units in the same building with permitted commercial.
  - ii) 1 dwelling unit for each 2,000 square feet of lot area provided the building does not exceed 2 storeys and provided the GFA of building used for dwelling units does not exceed the GFA used for commercial.

Purpose - to allow more residential use.

HAMILTON PUBLIC LIBRARY

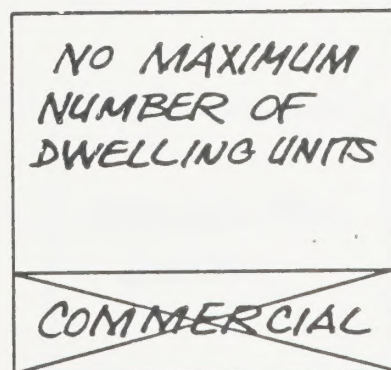
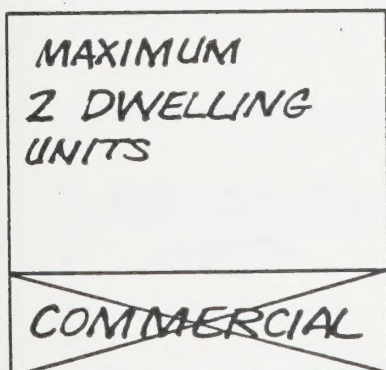
JAN 8 1987


GOVERNMENT DOCUMENTS

i) EXISTING

PROPOSED

PLAN VIEW



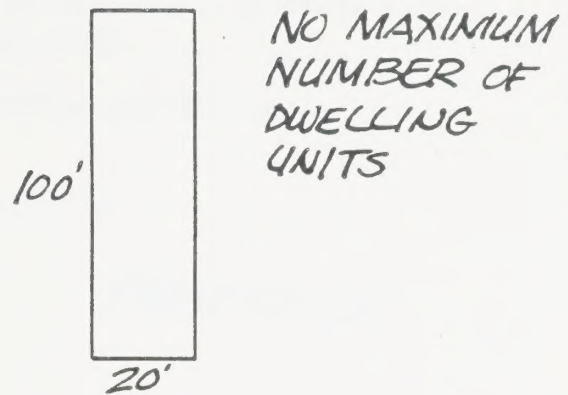
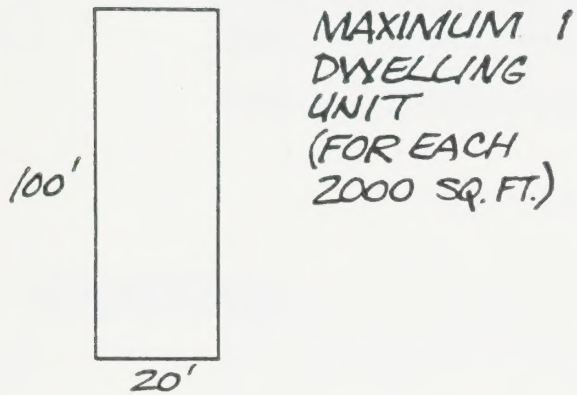


Digitized by the Internet Archive  
in 2023 with funding from  
Hamilton Public Library

[https://archive.org/details/jamesnorthherita00unse\\_1](https://archive.org/details/jamesnorthherita00unse_1)

## ii) EXISTING

## PROPOSED



PLAN VIEW

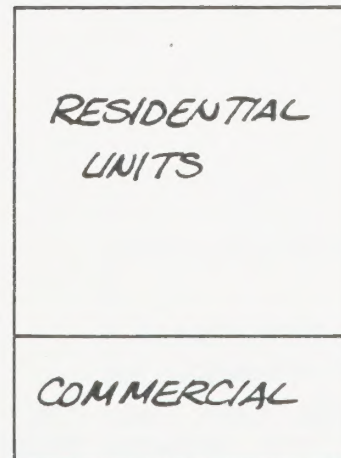
- b) No new dwelling units to be allowed on the first floor frontage of James Street North.

Purpose - to provide continuous non-residential frontage.

## EXISTING

## PROPOSED

PLAN VIEW







## 2. AREA REQUIREMENTS FOR RESIDENTIAL CONVERSIONS

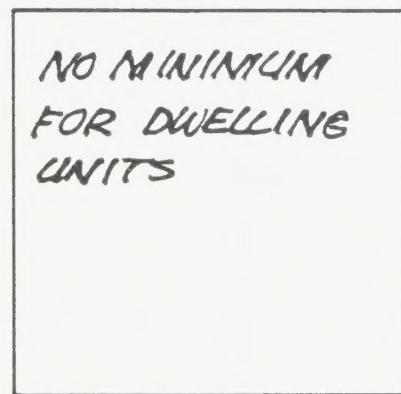
- a) Delete the requirement that the new dwelling units have at least 700 square feet of floor area:

Purpose - to encourage residential conversions.

### EXISTING



### PROPOSED



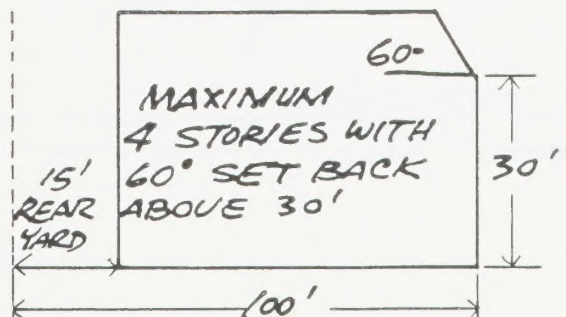
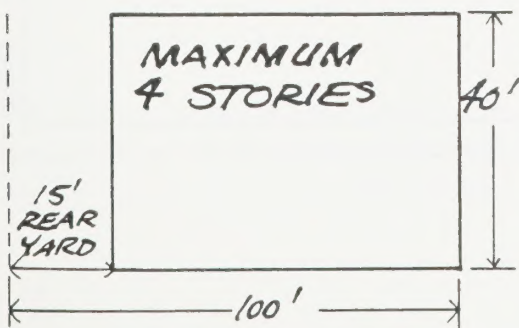
### PLAN VIEW

## 3. HEIGHT

- a) Add 60° angle of set back above 30 feet from the facade of the building.

Purpose - to prevent development overpowering the human scale of the street.

### WITHOUT SIDE YARDS



### CROSS SECTION





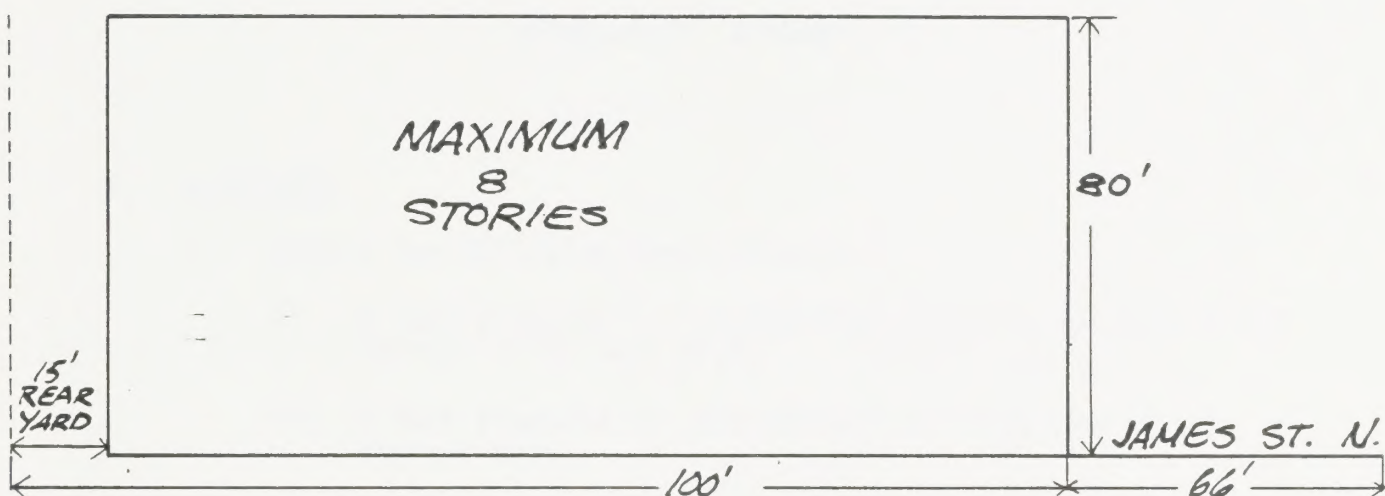
3. HEIGHT

- a) Add  $60^{\circ}$  angle of set back above 30 feet from the facade of the building.

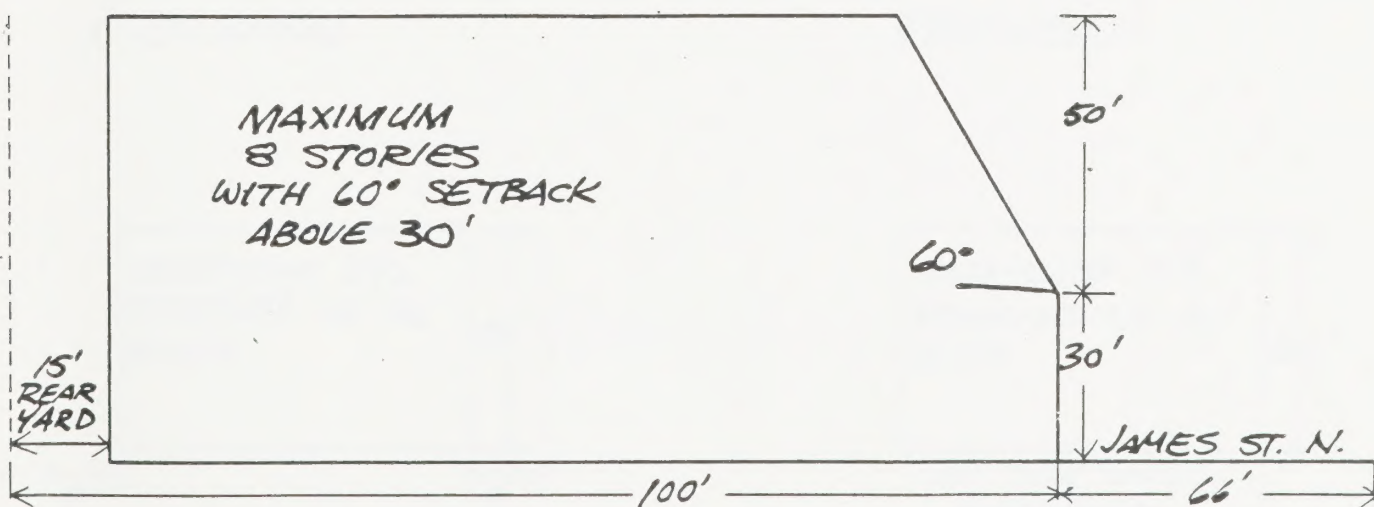
Purpose - to prevent development overpowering the human scale of the street and to allow sunshine to penetrate.

*CROSS SECTION*

*EXISTING*  
*WITH 10' SIDEYARDS*



*PROPOSED*









- b) Require minimum 2 storey or 20 feet high frontage on James Street North.

Purpose - to provide an urban environment in keeping with street character.

EXISTING

1 STOREY

PROPOSED

MINIMUM  
2 STOREY FRONTAGE 20'  
OR 20' HIGH

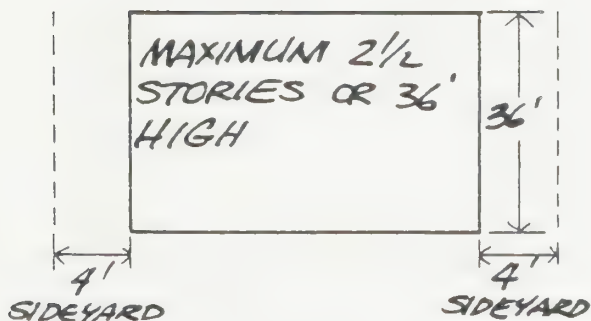
FRONT VIEW

4. SIDEYARDS

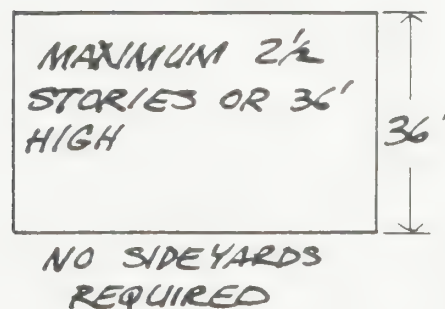
- a) Delete the following restrictions:

- i) 4 feet sideyard for residential building not over 2 1/2 storeys or 36 feet high.
- ii) 9 feet sideyard for residential building over 2 1/2 storeys high.
- iii) sideyard requirements where adjoining district requires a sideyard.

i) EXISTING



PROPOSED



FRONT VIEW

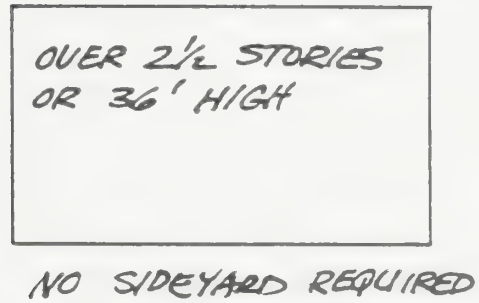
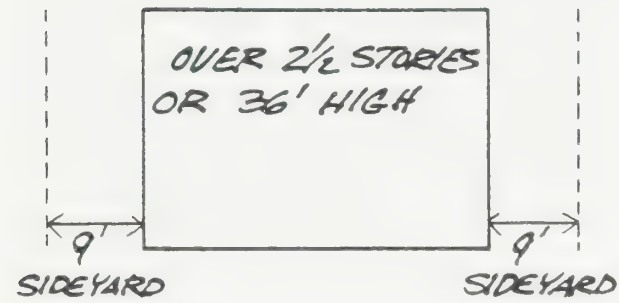






ii) EXISTING

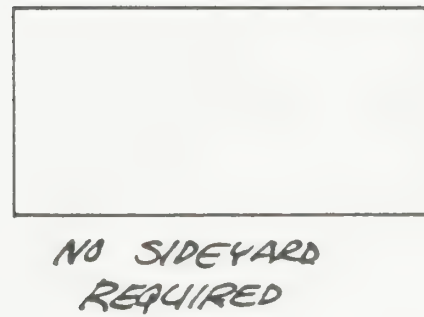
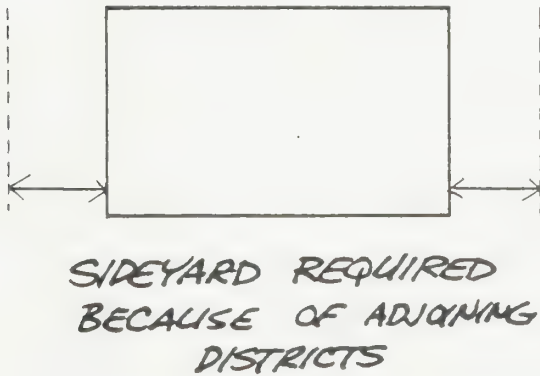
PROPOSED



FRONT VIEW

iii) EXISTING

PROPOSED



FRONT VIEW

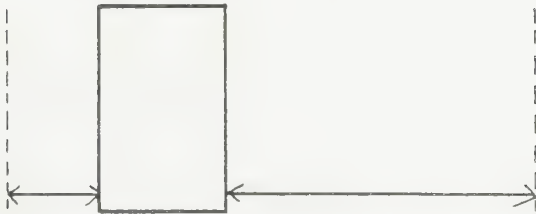




b) add that no side yard should be greater than 10 feet.

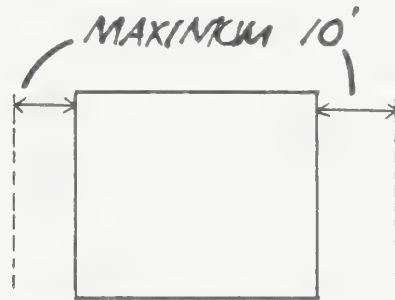
Purpose (a + b) - to encourage a continuous built frontage on James Street North.

EXISTING



SIDEYARDS REQUIRED  
(VARYING WIDTHS)

PROPOSED



NO SIDEYARDS  
REQUIRED

FRONT VIEW





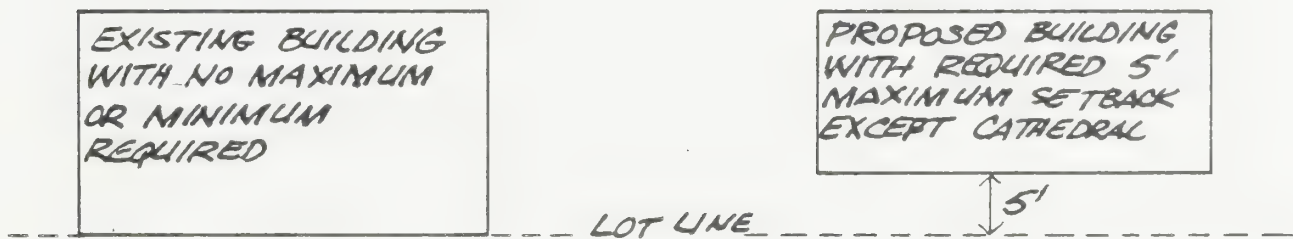
5. FRONT YARDS

- a) Delete the requirement that the depth to be at least as great as that required for lot on same side of street between two intersecting streets.
- b) Add maximum front yard 5 feet (except Cathedral).

Purpose (a + b) - to encourage an urban streetscape in character with existing.

EXISTING

PROPOSED



PLAN VIEW





## 7. PARKING

- a) Add that no parking be permitted within 20 feet of lot line fronting James Street North.

Purpose - to discourage car parks obtruding onto the James North frontage and to discourage demolition of buildings for car parking.

### EXISTING

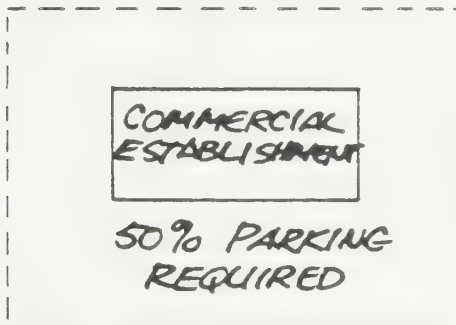
### PROPOSED

#### PLAN VIEW

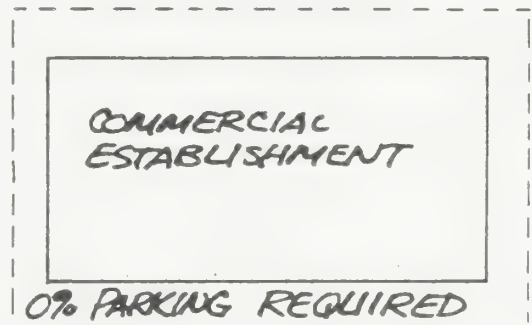


- b) Delete 50% parking requirement for commercial conversions between Cannon and Murray and add 0% parking requirement.

Purpose - to encourage commercial conversions and to be consistent with the south part of the street.



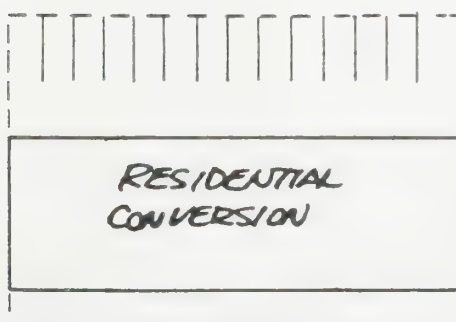
#### PLAN VIEW



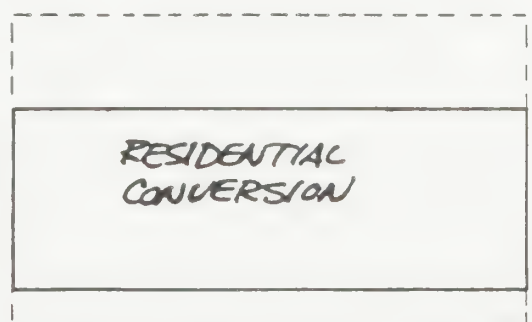
- c) Delete parking requirements for residential conversions as follows:

- i) For multiple dwelling - 0.8 space per dwelling between Wilson and Cannon.  
ii) For conversions - 1 space per dwelling (Cannon to Murray).

Purpose - to encourage residential conversion.



#### PLAN VIEW



0.8 SPACE/DWELLING  
1.0 SPACE/CONVERSION

NO PARKING REQUIREMENTS





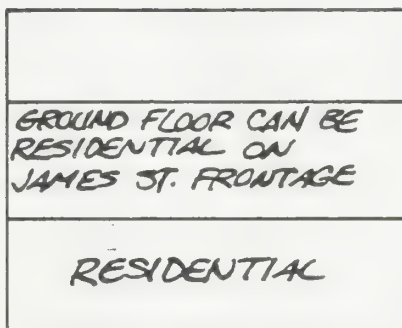
## 'I' DISTRICT

### 1. USES

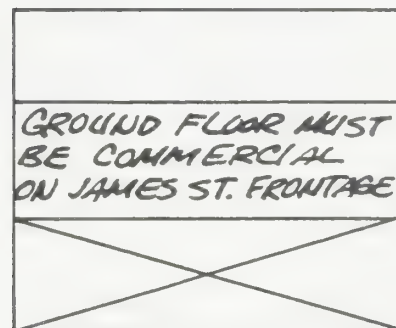
- a) No new dwelling units to be allowed on the first floor frontage of James Street North.

Purpose - to provide continuous non-residential frontage

### EXISTING



### PROPOSED



### FRONT VIEW

### 2. AREA REQUIREMENTS FOR RESIDENTIAL CONVERSIONS

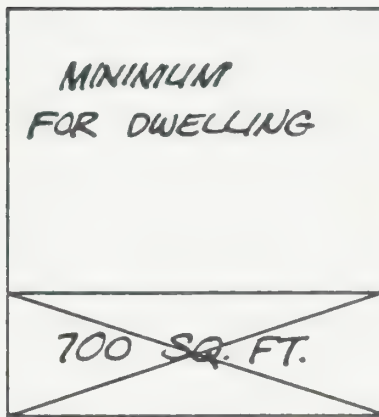
- a) Delete the requirement that the new dwelling units have at least 700 square feet of floor area.

Purpose - to encourage residential conversions.

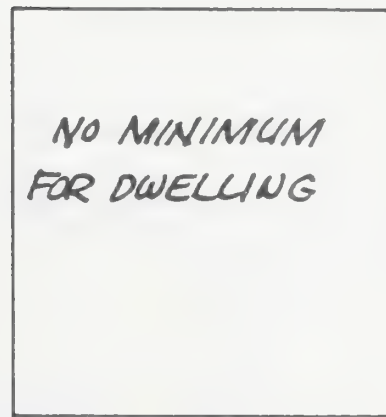




EXISTING



PROPOSED



PLAN VIEW

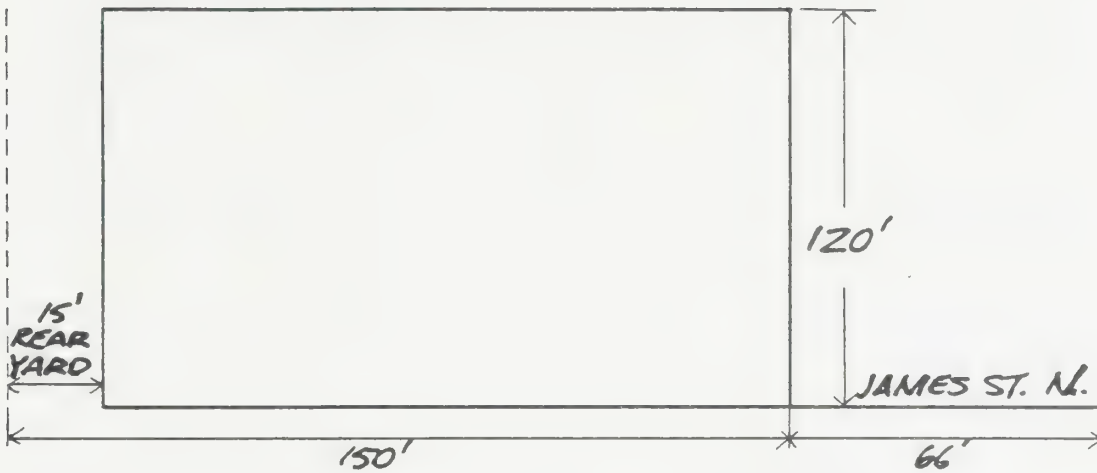
3. HEIGHT

- a) Add an angle of set back of  $60^{\circ}$  above 60 feet from the facade of the building.

Purpose - to prevent development overpowering the human scale of the street.

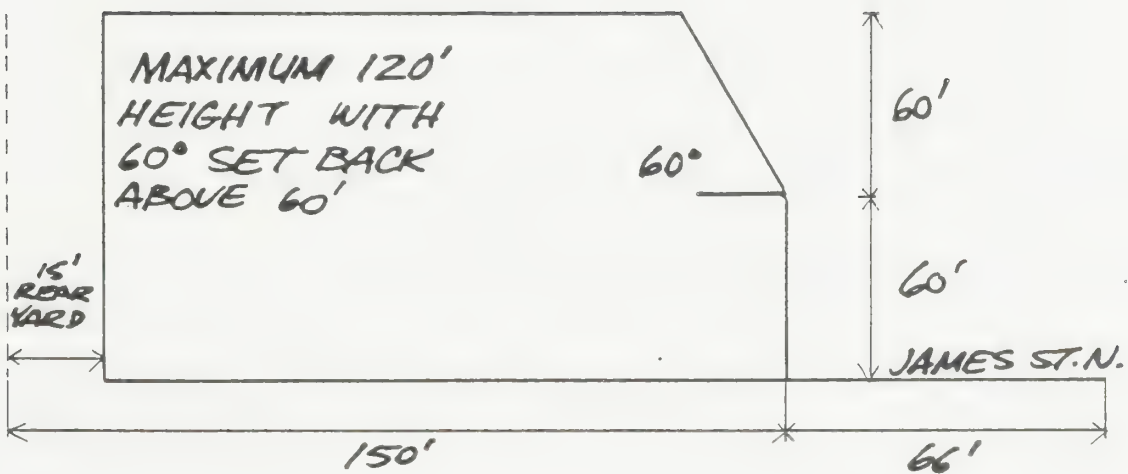


EXISTING



CROSS SECTION

PROPOSED



CROSS SECTION

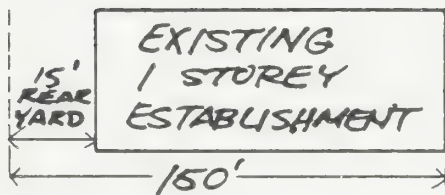




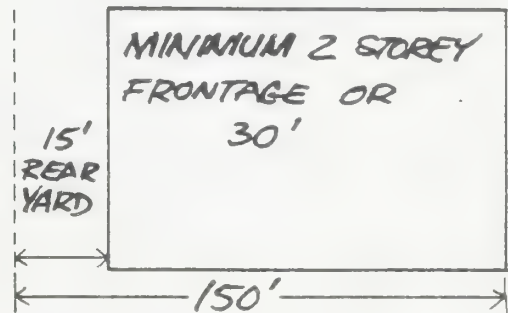
b) Require a minimum 2 storey or 30 feet frontage on James Street North.

Purpose - to provide an urban environment in keeping with street character.

## EXISTING



## PROPOSED



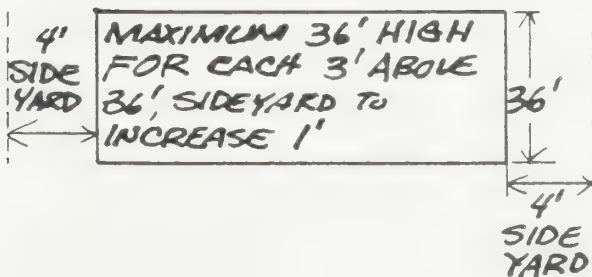
## CROSS SECTION

### 4. SIDEYARDS

a) Delete the following restrictions:

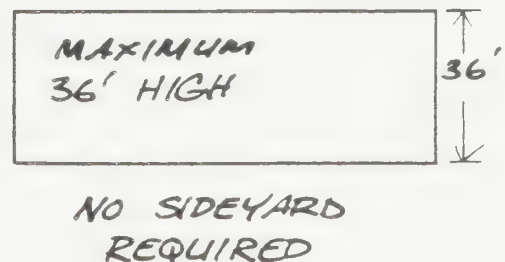
- i) For residential building not over 36 feet high, sideyard on each lot must be 4 feet. For each 3 feet above 36 feet the side yard to increase by a foot.
- ii) If not residential, sideyard must be same as adjoining district, unless residential when it will be 15' minimum.

### a) i) EXISTING



### RESIDENTIAL

### PROPOSED



## FRONT VIEW

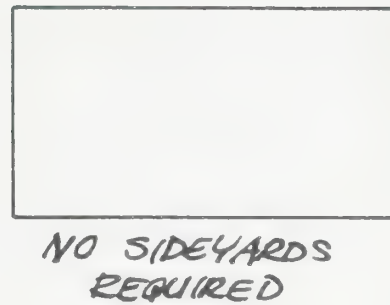
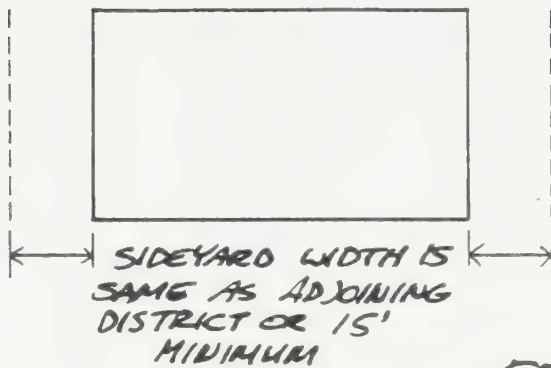




ii) EXISTING

NON-RESIDENTIAL

PROPOSED



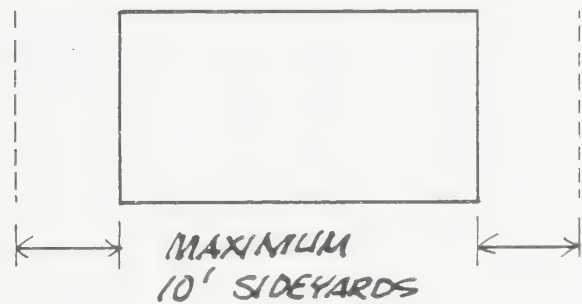
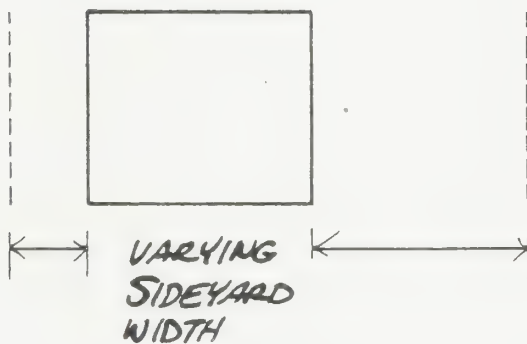
FRONT VIEW

b) Add that no sideyard should be greater than 10 feet.

Purpose (a = b) - to encourage a continuous built frontage on James Street North.

EXISTING

PROPOSED



FRONT VIEW



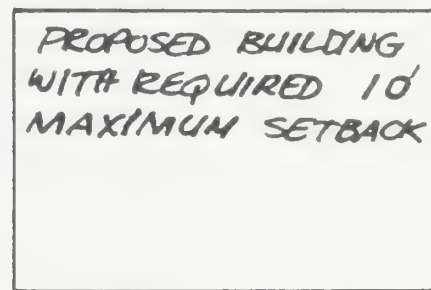
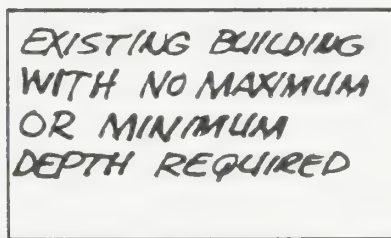
5. FRONT YARDS

- a) Delete the requirement that the depth to be at least as great as that required for lot on same side of street between two intersecting streets.
- b) Add maximum front yard 10 feet.

Purpose (a + b) - to encourage an urban streetscape in character with existing.

EXISTING

PROPOSED



10'

LOT LINE

PLAN VIEW



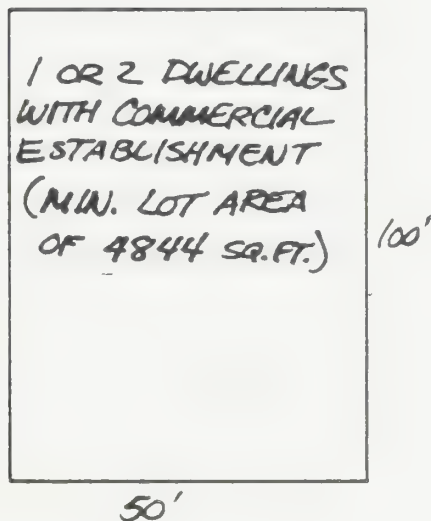


6. INTENSITY OF USE

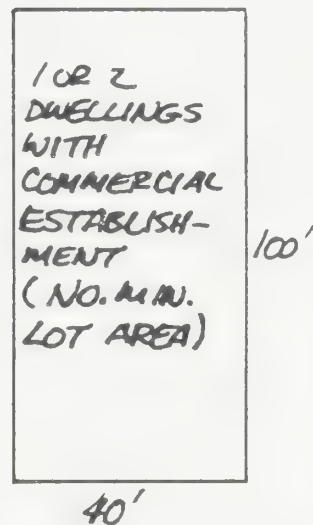
- a) Delete requirement that multiple dwelling erected, converted or reconstructed must have 50 feet width and 4,844 square feet lot area.

Purpose - to encourage residential development.

EXISTING



PROPOSED



PLAN VIEW



7. PARKING

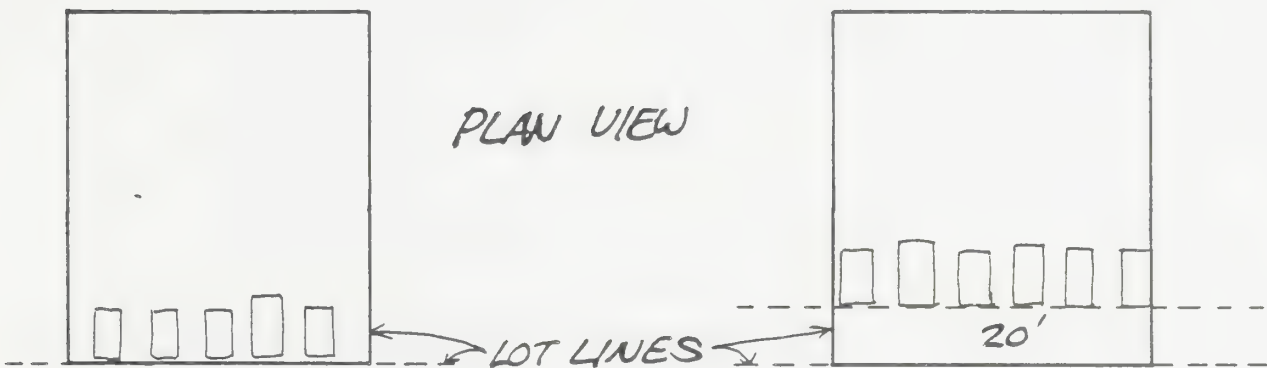
- a) Add that no parking be permitted within 20 feet of lot line fronting James Street North.

Purpose - to discourage car parks obtruding onto the James North frontage and to discourage demolition of buildings for car parking.

EXISTING

PROPOSED

PLAN VIEW

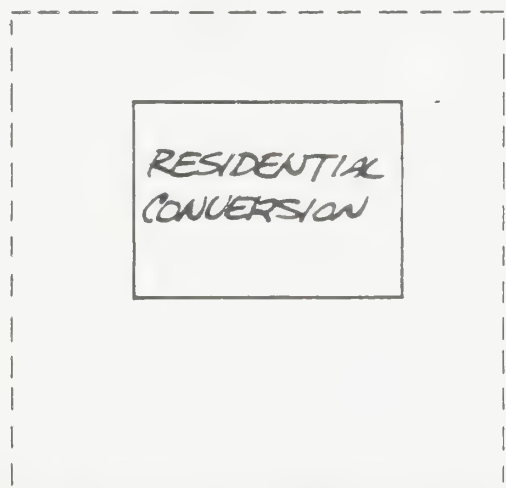
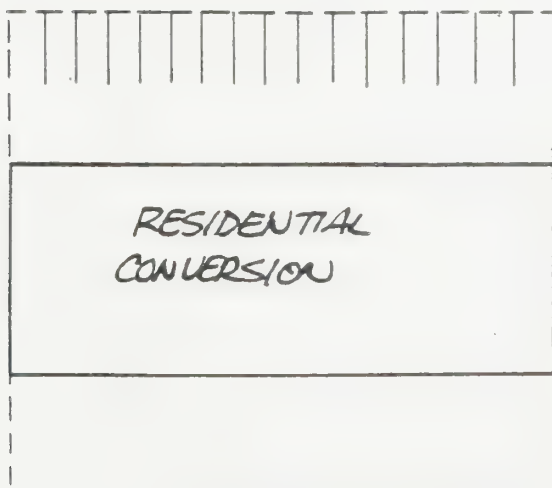


- b) Delete parking requirements for residential conversions to multiple dwellings which require .8 space per dwelling.

Purpose - to encourage residential conversion.

EXISTING

PROPOSED



0.8 SPACE/DWELLING

NO PARKING REQUIREMENTS

PLAN VIEW





## SITE PLAN CONTROL

- Add site plan control (Section 40 of the Planning Act) to H and I District.
- This means all new development except minor additions has to be approved by the Planning and Development Committee. Only the owner can appeal to the Ontario Municipal Board.
- Site Plan Control controls the following only:
  - highway widenings (not applicable on James Street North)
  - accesses
  - on-site loading and parking
  - walkways and pedestrian access
  - lighting
  - landscaping
  - garbage facilities
  - easements for utilities
  - grading
  - massing and conceptual design
  - relationship of buildings
  - interior walkways
- Site plan control ensures satisfactory site layout and gives the opportunity to the City and James North Community to discuss proposals and bring to the attention of the owner the James North Heritage District Plan and its goals.

DG:jd

W.P. 0026P







## ACCOPRESS®

25071	—	BLACK / NOIR	—	BG2507
25072	—	BLUE / BLEU	—	BU2507
25078	—	RED / ROUGE	—	BF2507
25075	—	GREEN / VERT	—	BP2507
25074	—	GREY / GRIS	—	BD2507
25073	—	R. BLUE / BLEU R.	—	BB2507
25079	—	X. RED / ROUGE X.	—	BX2507
25070	—	YELLOW / JAUNE	—	BY2507
25077	—	TANGERINE	—	BA2507

ACCO CANADIAN COMPANY LIMITED  
COMPAGNIE CANADIENNE ACCO LIMITÉE  
TORONTO CANADA

HAMILTON PUBLIC LIBRARY



3 2022 21292796 2



